

land of opportunity

A common misperception is that Downtown Atlanta is built out, and what little vacant land exists is not large enough for new development. Recently, CAP/ADID set out to debunk this myth by researching and analyzing underutilized property within Downtown. Remarkably 495 underutilized acres exist for redevelopment. Whether it's a surface parking lot, vacant building or raw land today, opportunities abound for tomorrow. This map illustrates the abundance and variety of sites available for your next project.

For additional information about these opportunities, contact Ellen Mendelsohn at (404) 658-5983 or emendelsohn@atlantadowntown.com.

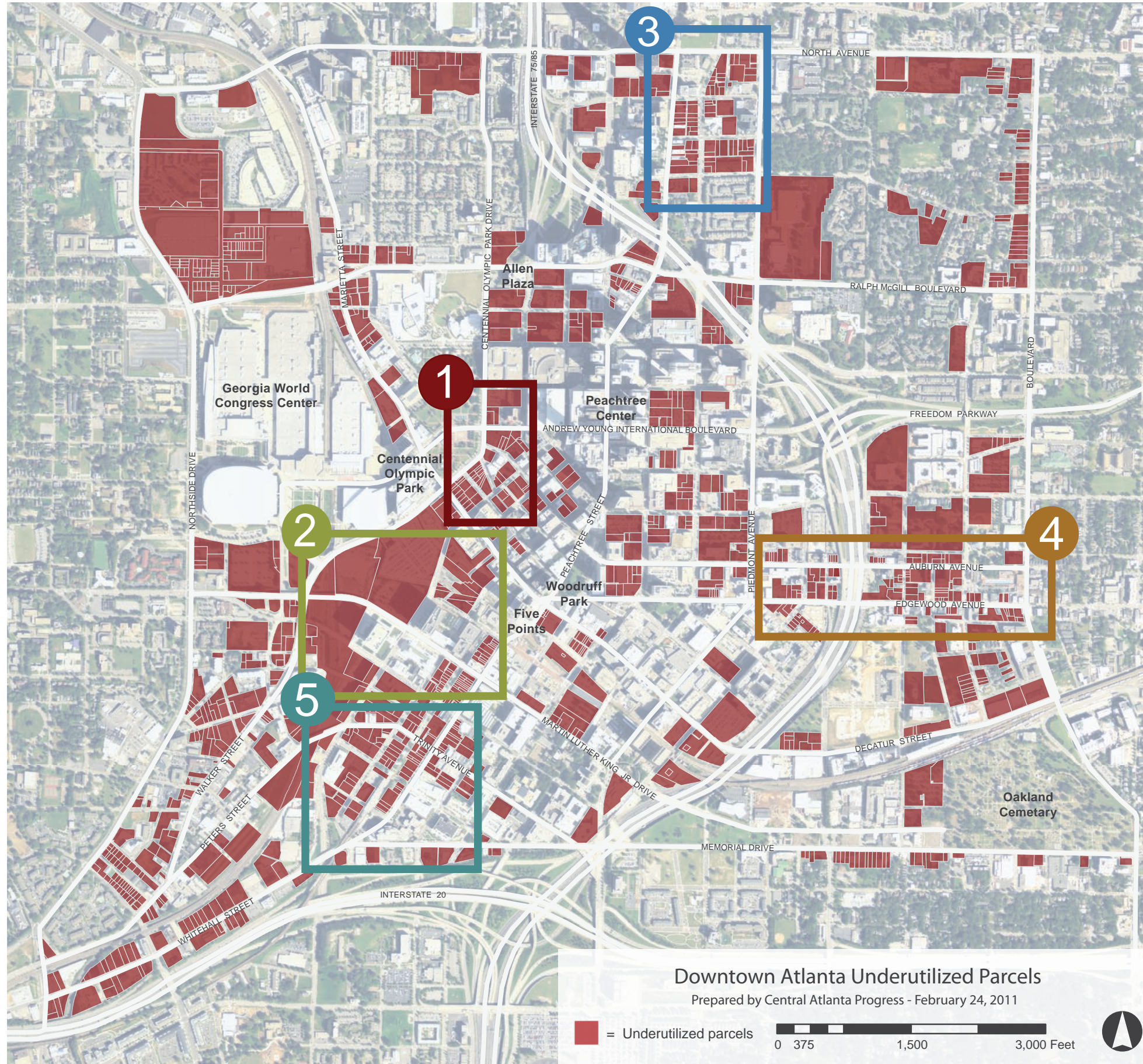
Where are the immediate opportunities? Check out these Downtown districts.

1 - Fairlie-Poplar at Centennial Olympic Park

Sometimes referred to as Downtown's "beachfront property," development on the five blocks on the southeast border of Centennial Olympic Park will be driven by the amenity of and the activity generated by the Park. Larger blocks that have already been assembled under one owner set the stage for new residential, retail and commercial development.

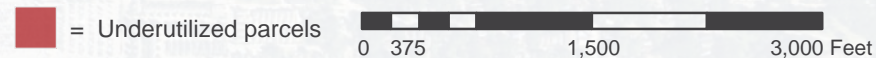
2 - MMPT at the Green Line

At close to 30 acres, the railroad gulch at the site of Atlanta's historic beginning represents one of the largest contiguous development sites in Downtown. Development here will be catalyzed by the construction of a Multimodal Passenger Terminal (MMPT). As envisioned by the Green Line plan, the terminal will "fill in" the gulch with needed rail and bus transit infrastructure and "cap" it with new commercial and residential development sites. This development will be driven by the Georgia Department of Transportation's Public Private Project (P3) initiative. A team consisting of Forest City Enterprises, Cousins Properties, and the Integral Group were selected as GDOT's development partner for the MMPT and surrounding area.



Downtown Atlanta Underutilized Parcels

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3 - South of North (SoNo)

Centered along Peachtree Street and poised to capture growth between Midtown and Downtown, sites in this district include both smaller infill lots and large-scale full city blocks. Revitalization of the neighborhood surrounding Emory University Hospital Midtown is likely to build on the existing and future healthcare and research needs of the hospital, as well as the demand for housing options convenient to nearby jobs and cultural amenities.

4 - Sweet Auburn

Already a widely recognized historic district and armed with an approved and detailed redevelopment plan, Sweet Auburn is prepared for both the adaptive re-use of historic structures, as well as the assembly of full blocks for contextual infill projects. Between the recent grass-roots entrepreneurial investments in restaurants, clubs and offices along Edgewood and the planned investment in streetcar service along Auburn Avenue, it is not hard to see that this eastside hot spot is up and coming.

5 - Railroad District

The Railroad District area of Downtown's south central business district bounded by Mitchell Street, Peachtree Street, Memorial Drive and Spring Street is a blank slate of urban-scaled walkable city blocks ready to be transformed by transit oriented development anchored by the Garnett MARTA rail station. Surrounded by the historic context of Atlanta's earliest commercial structures, adjacent to the urban loft living haven of Castleberry Hill and only steps away from the center of local, state and national government employment, newly constructed residential and retail buildings are envisioned at this location.



Central Atlanta Progress
Atlanta Downtown Improvement District